

REVISIONS

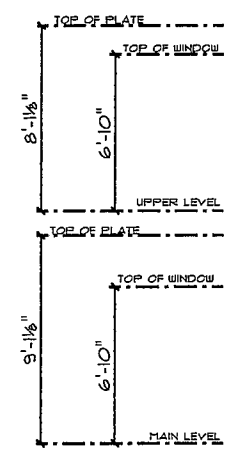
DESIGN ELEMENTS®
 RESIDENTIAL - LIGHT COMMERCIAL DRAFTING
 LONE TREE - IOWA - 52795
 99-631-4370
 CHRISTINA@DESIGNELEMENTS.COM

THE "CARLETON"
 BY
 SOUTHGATE HOMES

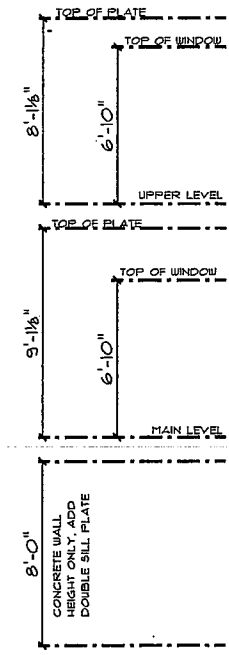
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 DATE: 01/28/2008
 DRAWN BY: MPB
 CHECKED BY: CDM
 PROJECT NUMBER: 07R908

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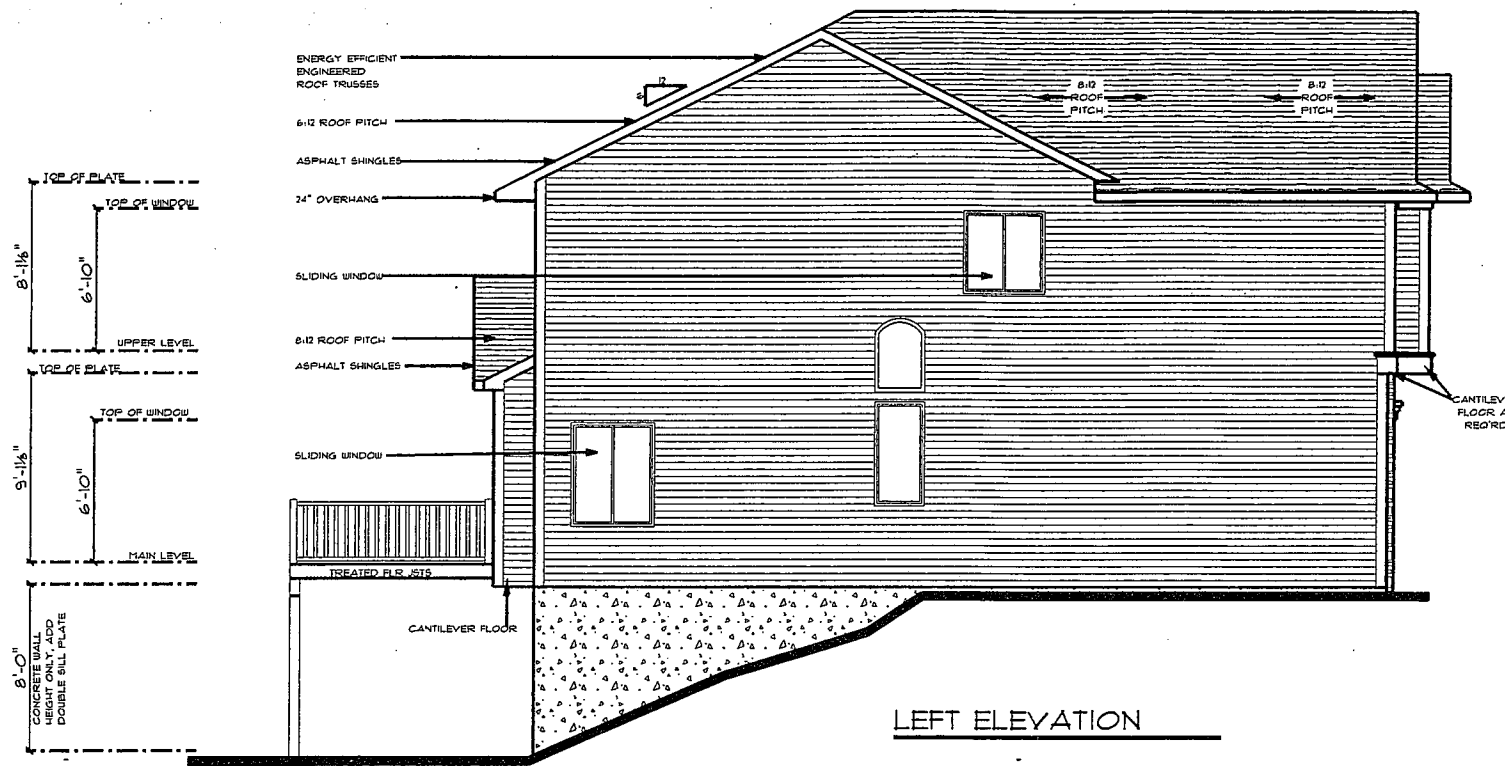
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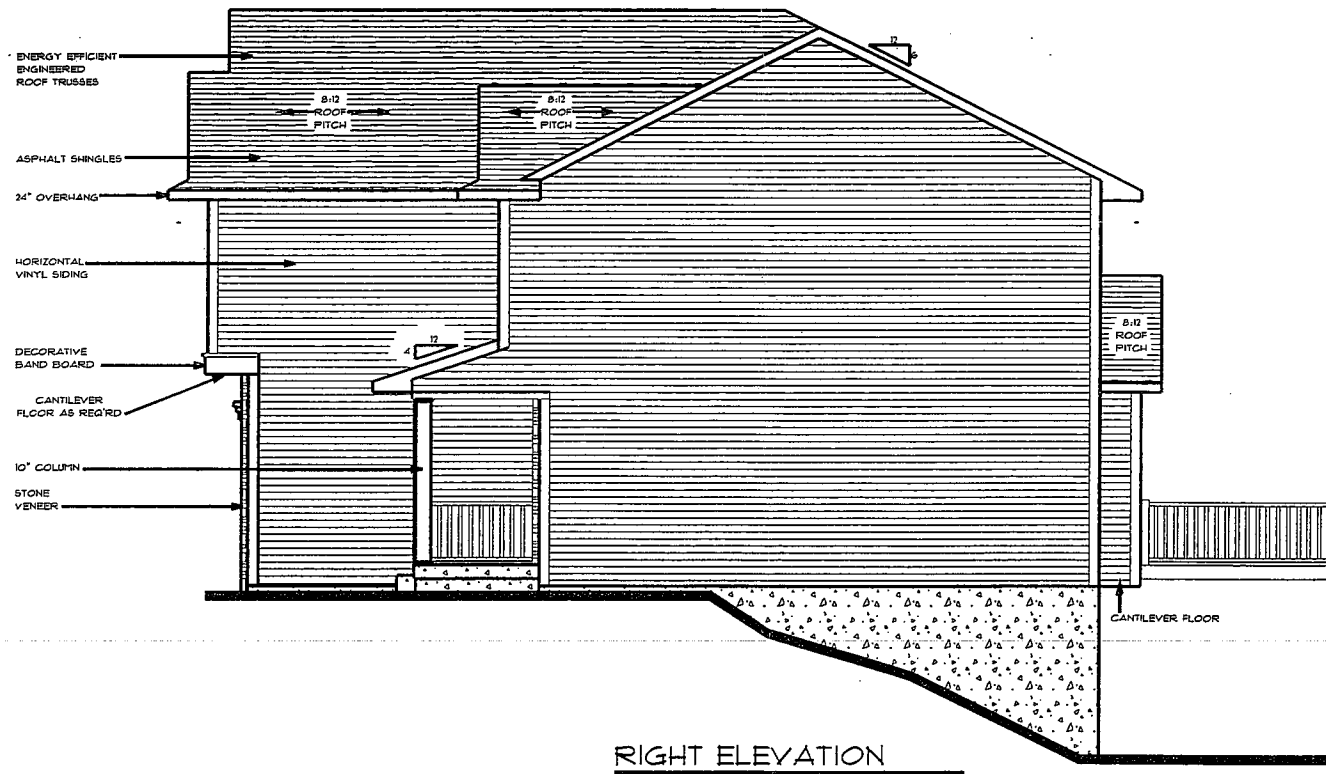
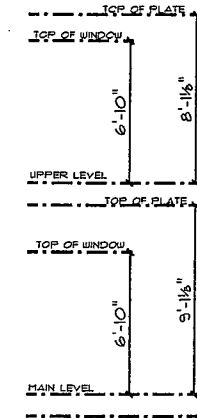
FRONT ELEVATION



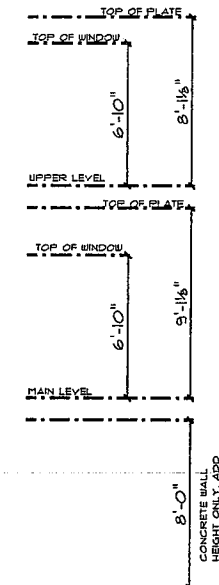
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



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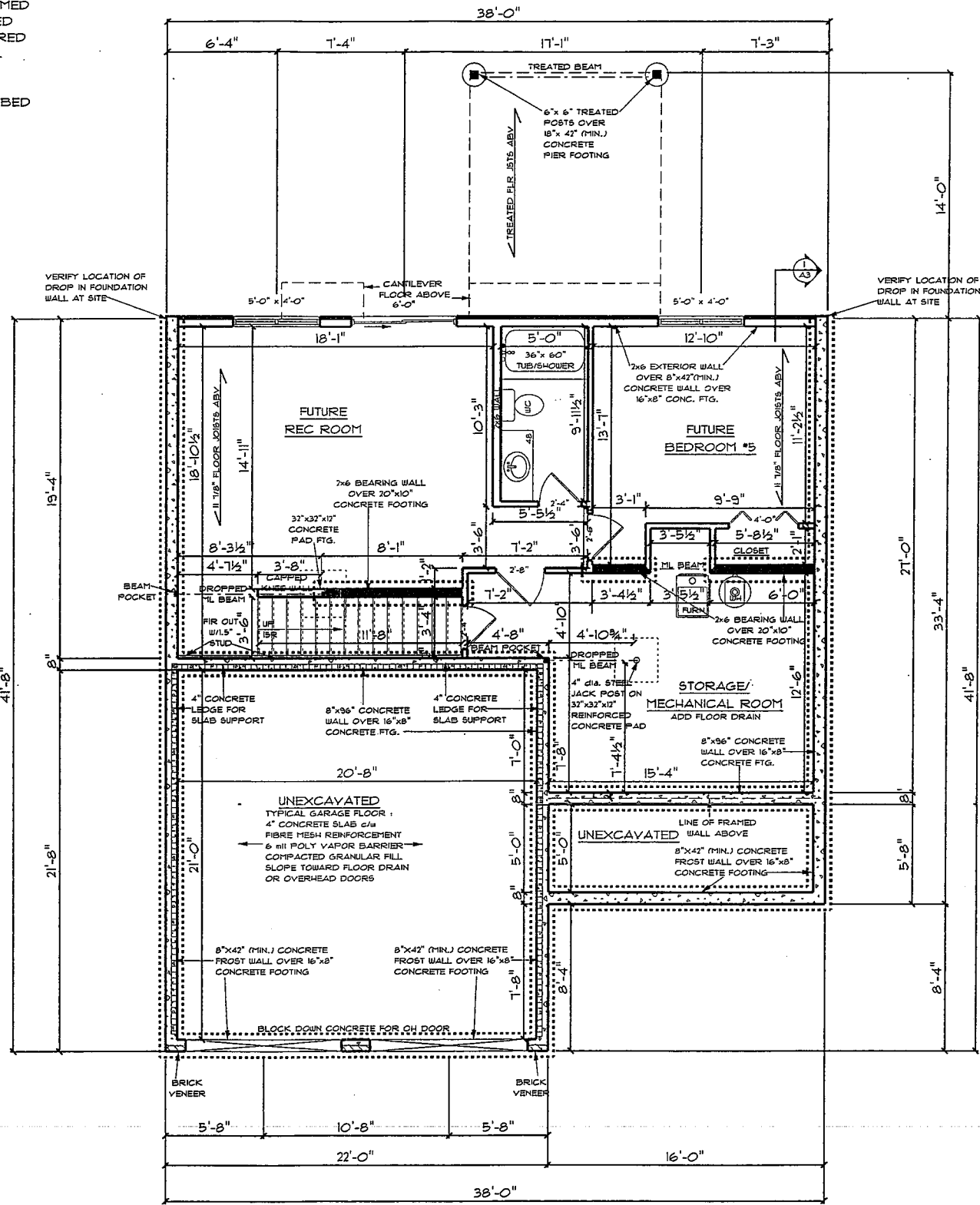
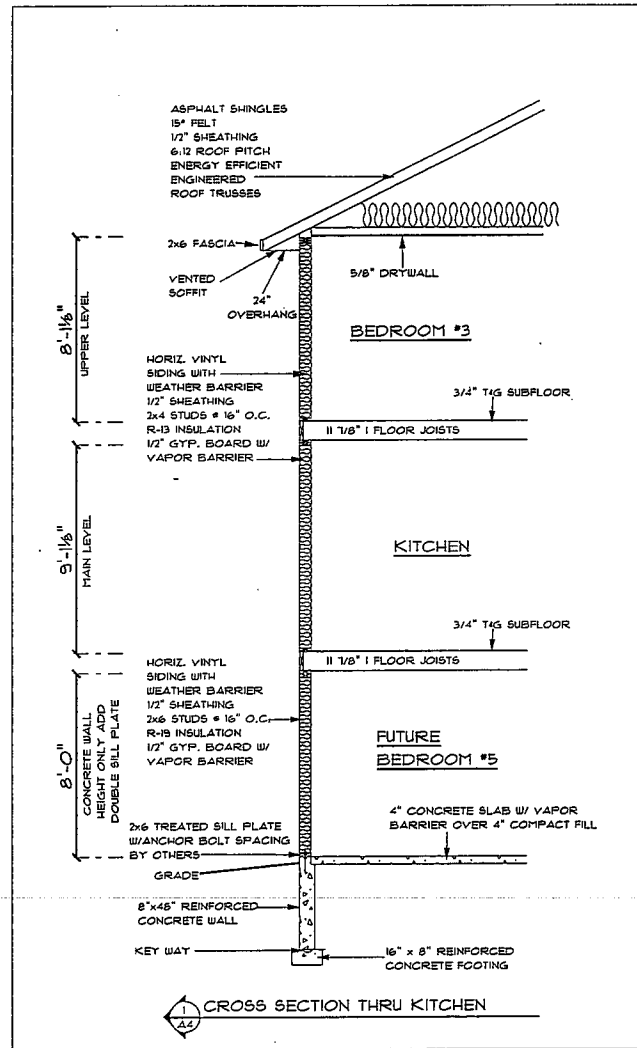
REVISIONS
DESIGN ELEMENTS ARCHITECTURAL - LIGHT COMMERCIAL DRAWING LONE TREE - 00VA - 52755 39-658-4570 CUST@DESIGNELEMENTS.COM
THE "CARLETON" BY SOUTHGATE HOMES
SCALE: 1/8" = 1'-0" DATE: 01/25/2008 DRAWN BY: MPB CHECKED BY: CDW PROJECT NUMBER: 07R908
A2
<small>DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHALL PROCEED AT THE RISK OF THE CLIENT. THE CLIENT AND OWNER OF THIS PLAN RELEASE DESIGN ELEMENTS FROM ANY CLAIM OR LIABILITY THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME. IN CONCLUSION ALL STRUCTURAL MEMBERS INCLUDING AND EXCLUDING MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.</small>

NOTES

- 8'-0" WALL HEIGHTS UNLESS NOTED
- SLIDING WINDOWS UNLESS NOTED
- VERIFY SIZES
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
- EXTERIOR WALLS ARE 2x4'S AT 16" O.C.
- 2x6'S AT LOWER LEVEL ONLY
- INTERIOR WALLS ARE 2x4'S AT 16" O.C.
- GARAGE WALLS ARE 2x4'S AT 16" O.C.
- FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
- 2x6 PLUMBING WALLS AS REQUIRED
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 1 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR
- ALL ANGLED WALLS ARE 45 DEGREES

FOUNDATION NOTES

- 2000 PSF SOIL BEARING PRESSURE ASSUMED FOR FOOTING DESIGN. MODIFY AS NEEDED IF DIFFERENT CONDITIONS ARE ENCOUNTERED
- DO NOT BACKFILL BASEMENT WALLS UNTIL FIRST FLOOR IS IN PLACE
- 3000 PSI CONCRETE (TYPICAL)
- DO NOT PLACE ANY FOOTINGS ON DISTURBED SOIL - IF ENCOUNTERED, OVER EXCAVATE AND EXTEND FOOTING DEPTH
- FOOTINGS ARE TO MEET LOCAL FROST FOOTING REQUIREMENTS



LOWER LEVEL/FOUNDATION PLAN

MAIN LEVEL SQ. FT.: 894 SQ. FT.
 UPPER LEVEL SQ. FT.: 1301 SQ. FT. *OPT. LOWER LEVEL FINISH: 634 SQ.
 TOTAL SQ. FT.: 2195 SQ. FT.

REVISIONS

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 CLEUSI@MAILBOXES.COM • US • CA

THE "CARLETON"
 BY
 SOUTHGATE HOMES

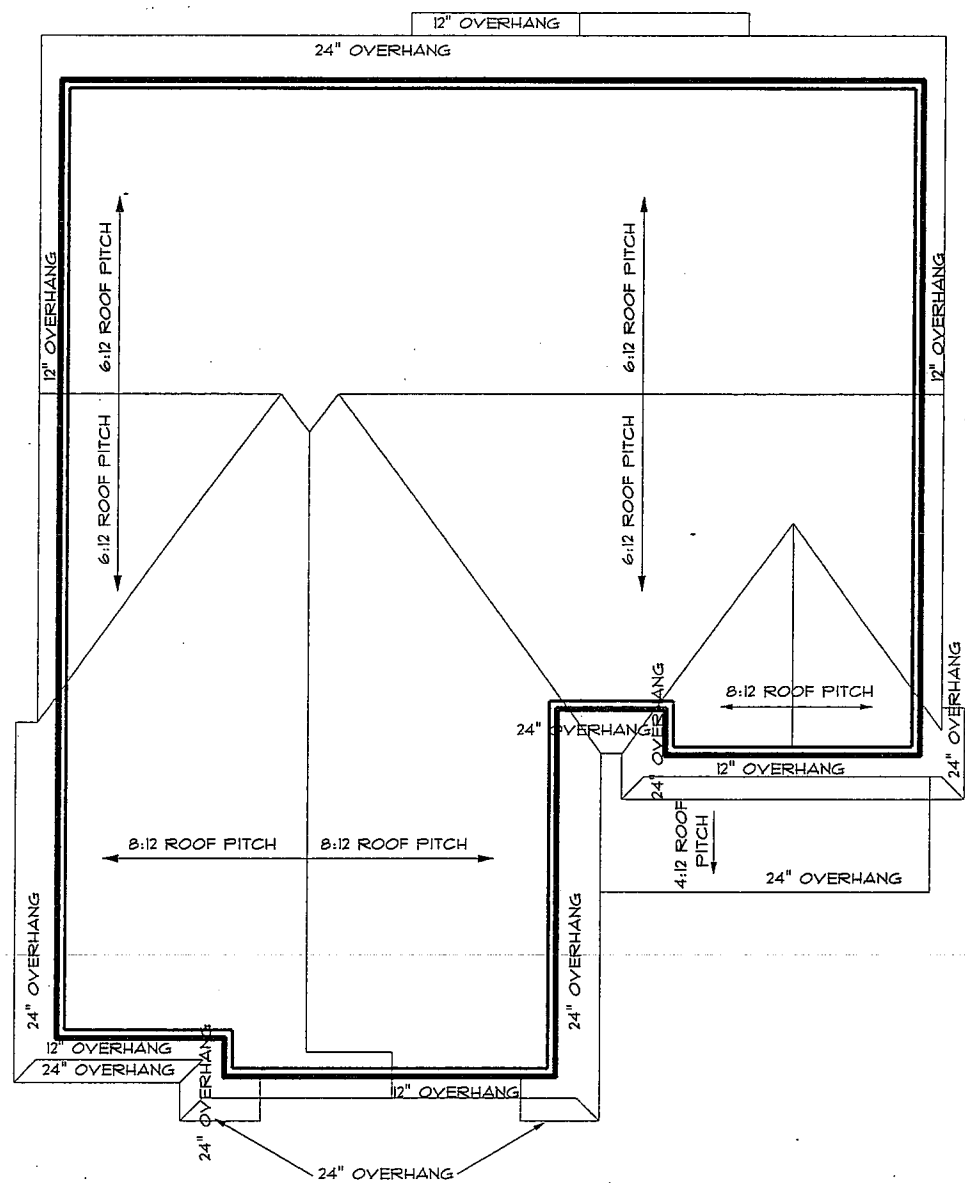
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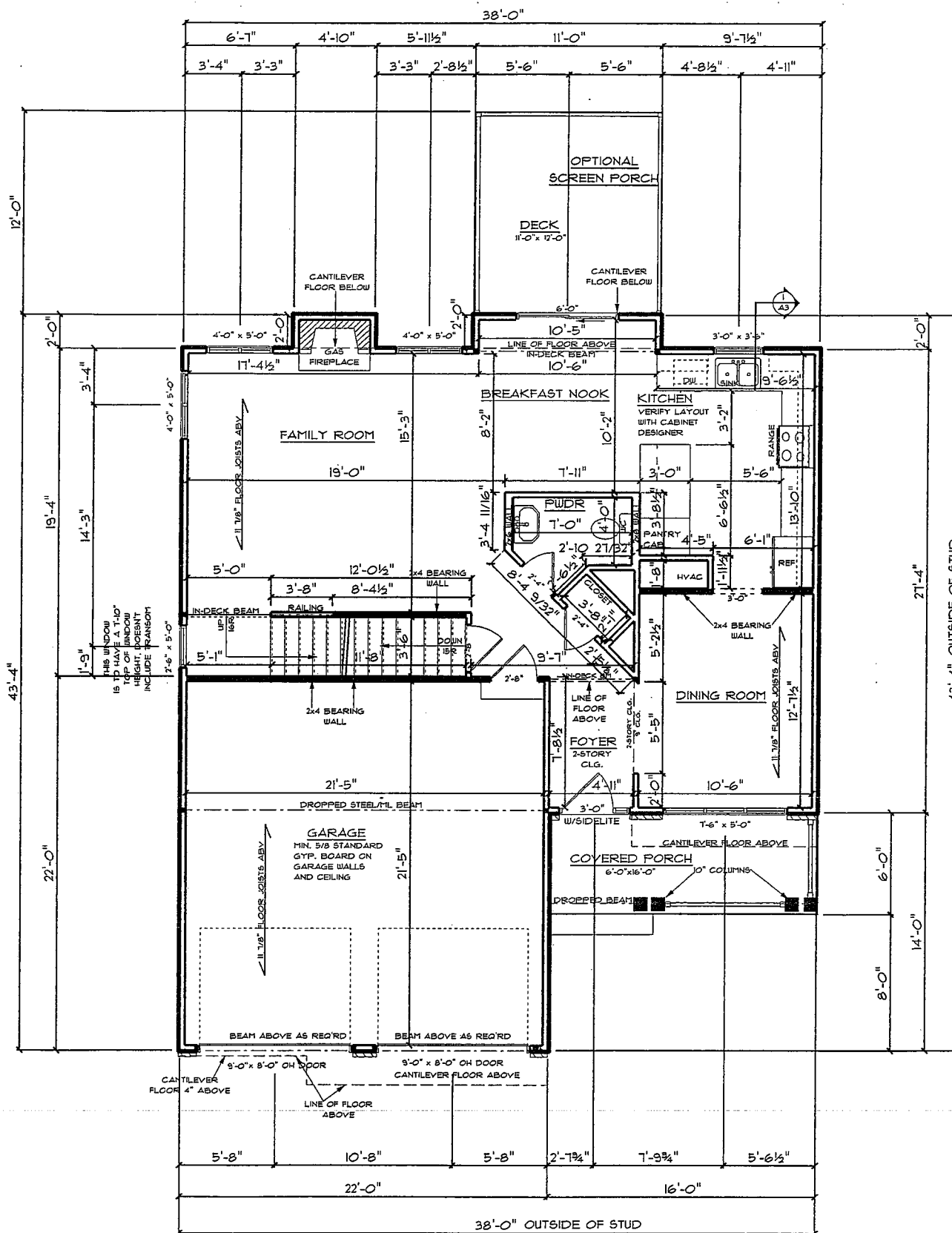
DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A REGISTERED PROFESSIONAL. THE CLIENT AND OWNER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

NOTES

- 9'-1 1/8" WALL HEIGHTS UNLESS NOTED
- SLIDING WINDOWS UNLESS NOTED
- VERIFY SIZES
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
- EXTERIOR WALLS ARE 2x4'S AT 16" O.C.
- 2x6'S AT LOWER LEVEL ONLY
- INTERIOR WALLS ARE 2x4'S AT 16" O.C.
- GARAGE WALLS ARE 2x4'S AT 16" O.C.
- FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
- 2x6 PLUMBING WALLS AS REQUIRED
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 1 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR
- ALL ANGLED WALLS ARE 45 DEGREES



ROOF PLAN



MAIN LEVEL FLOOR PLAN

MAIN LEVEL SQ. FT.: 894 SQ. FT.
 UPPER LEVEL SQ. FT.: 1301 SQ. FT.
 TOTAL SQ. FT.: 2195 SQ. FT.

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REVISIONS
• DESIGN ELEMENTS • RESIDENTIAL LIGHT COMMERCIAL DRAFTING LOCAL TEL: 404 • 52795 990634570 CLIENTS@DESIGNELEMENTS.COM
• THE "CARLETON" BY SOUTHGATE HOMES •
SCALE: 1/8" = 1'-0" DATE: 01/28/2008 DRAWN BY: MPB CHECKED BY: CDM PROJECT NUMBER: 07R908
• A4 •
DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND OWNER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS, DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

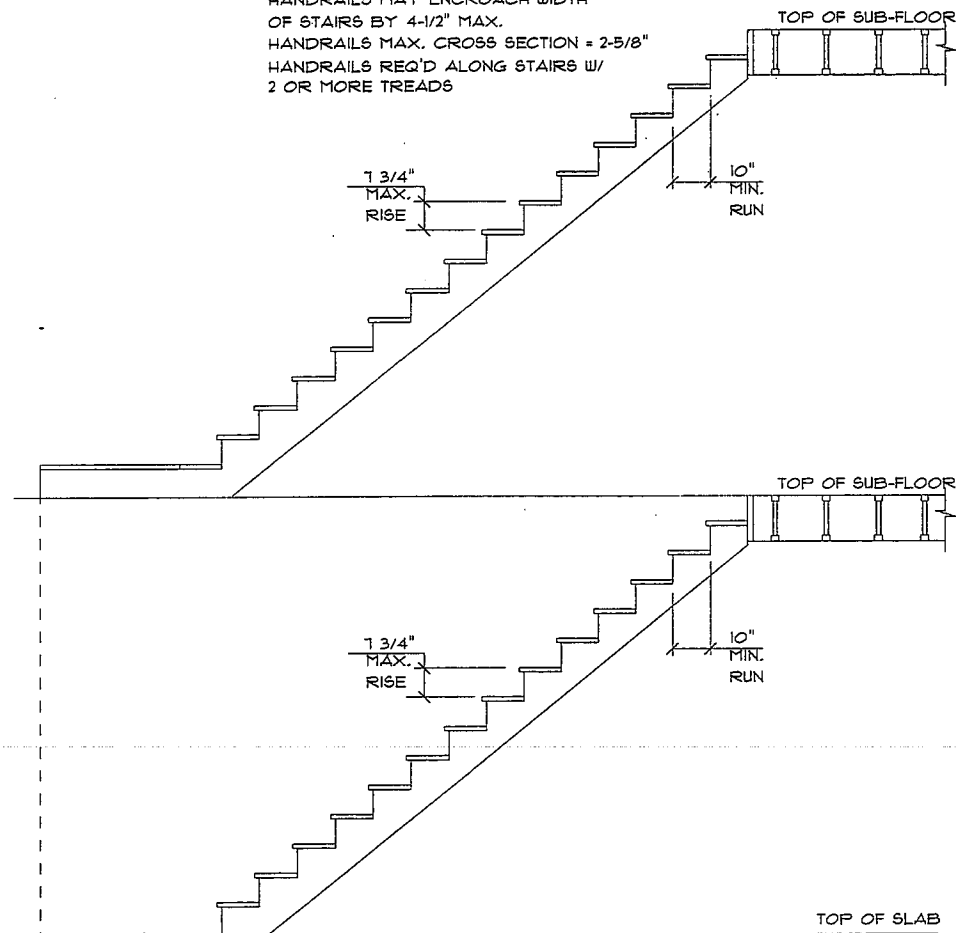
NOTES

- 8'-1 1/8" WALL HEIGHTS UNLESS NOTED
- SLIDING WINDOWS UNLESS NOTED
- VERIFY SIZES
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- FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
- 2x6 PLUMBING WALLS AS REQUIRED
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 7 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR
- ALL ANGLED WALLS ARE 45 DEGREES

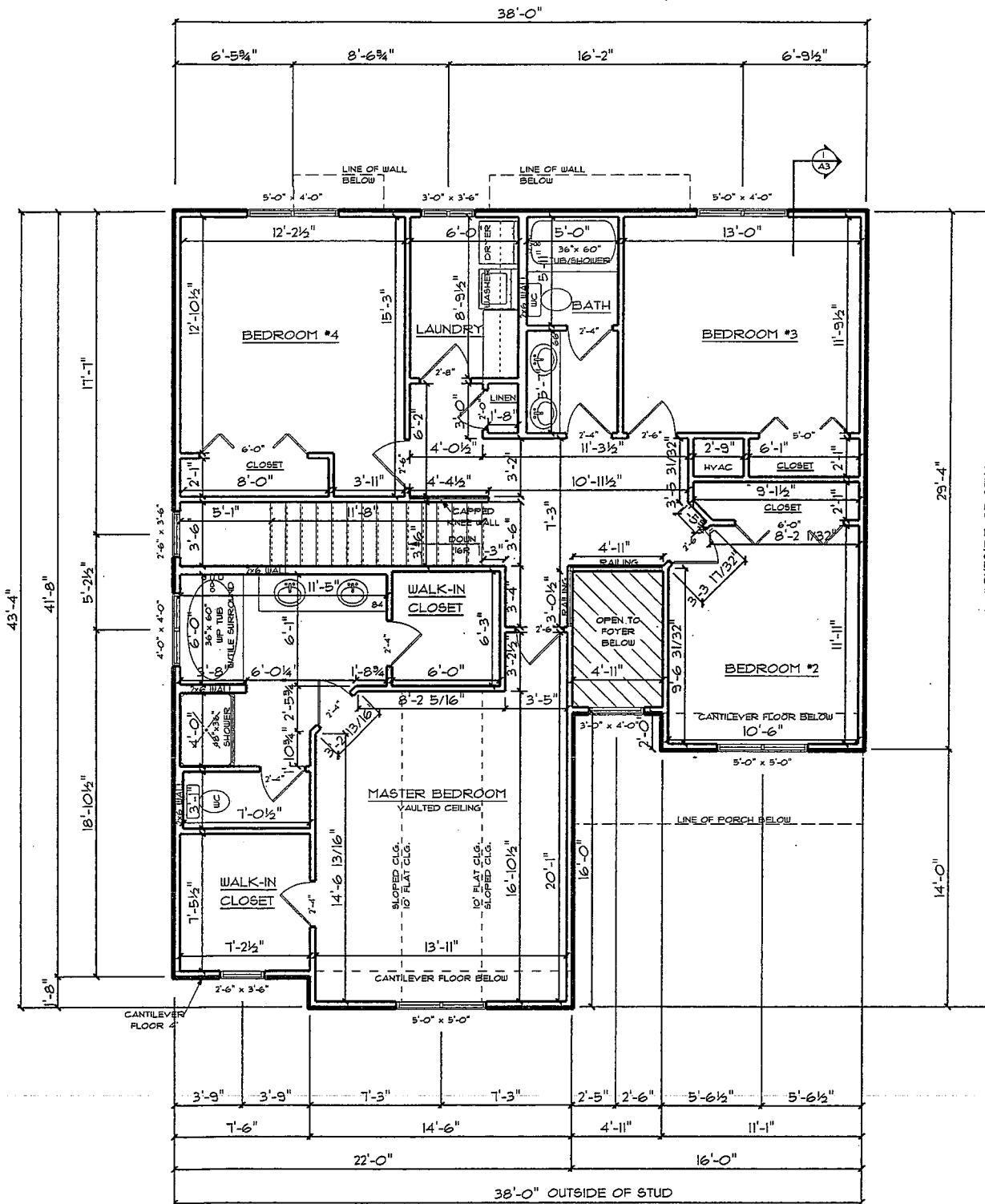
STAIR NOTES:

MIN. RUN 10"
 MAX. RISE 7 3/4"
 MIN. HEADROOM 6'-8"

HANDRAIL HEIGHTS 34"-38"
 HANDRAILS MAY ENCROACH WIDTH OF STAIRS BY 4-1/2" MAX.
 HANDRAILS MAX. CROSS SECTION = 2-5/8"
 HANDRAILS REQ'D ALONG STAIRS W/ 2 OR MORE TREADS



STAIR SECTION
 NOT TO SCALE



UPPER LEVEL FLOOR PLAN

MAIN LEVEL SQ. FT.: 894 SQ. FT.
 UPPER LEVEL SQ. FT.: 1301 SQ. FT.
 TOTAL SQ. FT.: 2195 SQ. FT.

REVISIONS

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• A5 •

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