



FRONT ELEVATION



REAR ELEVATION

NON-WALKOUT

THE "MONROE"
BY
SOUTHGATE DEVELOPMENT

REVISIONS

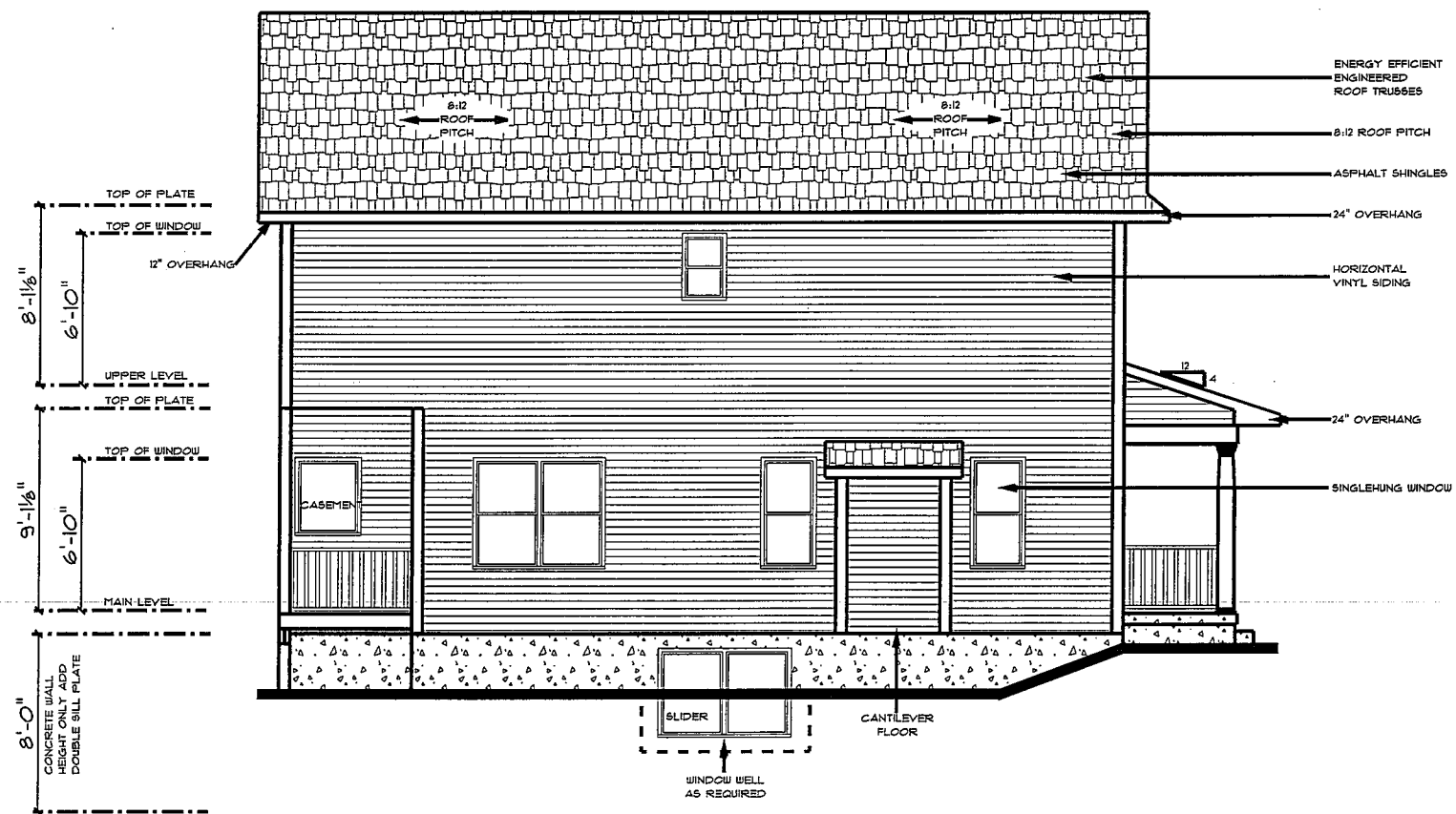
DESIGN ELEMENTS
RESIDENTIAL LIGHT COMMERCIAL DRAFTING
LAW: TELLE • UVA • 56755
39 • 634 • 41370
CHRISTINA@DESIGNELEMENTS.COM

SCALE: 1/8" = 1'-0"
DATE: 08/17/2004
DRAWN BY: JAC
CHECKED BY: CDM
PROJECT NUMBER: 04R219

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS, DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



RIGHT ELEVATION



LEFT ELEVATION

REVISIONS

DESIGN ELEMENTS
RESIDENTIAL - LIGHT COMMERCIAL DRAFTING
LONE TREE, VA • 52755
919-654-4570
CHRISTINA@DESIGNELEMENTS.COM

NON-WALKOUT

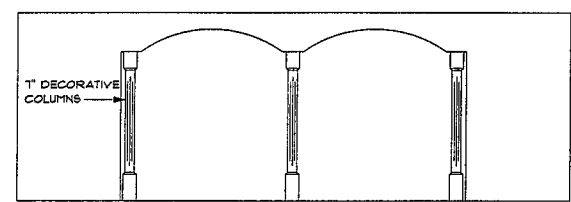
THE "MONROE"
BY
SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
DATE: 08/17/2004
DRAWN BY: JAC
CHECKED BY: CDM
PROJECT NUMBER: 04R2419

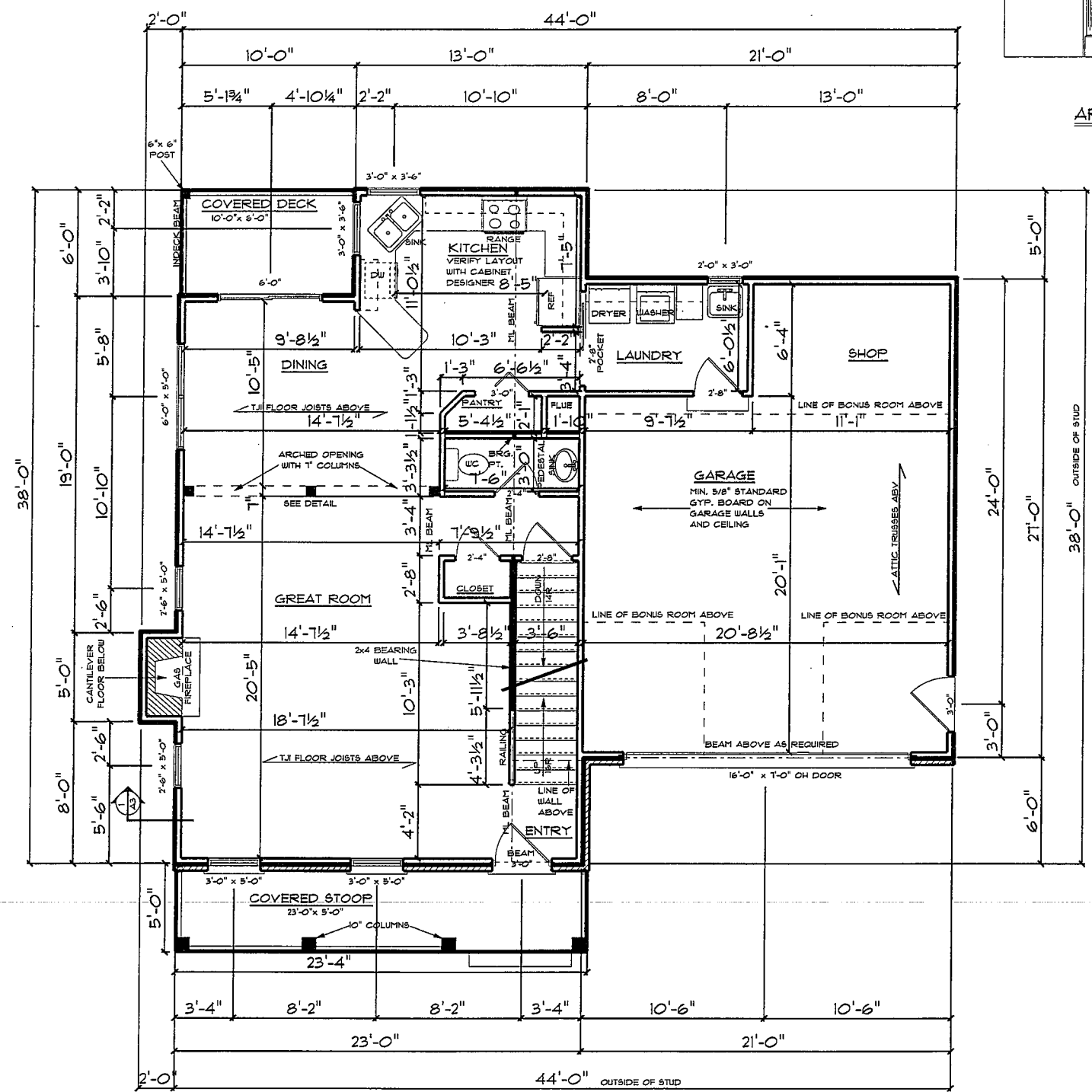
A2

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND OWNER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION, ALL STRUCTURAL MEMBER DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

- NOTES**
- 9'-1 1/8" WALL HEIGHT UNLESS NOTED
 - GERKIN SINGLE HUNG WINDOWS TO BE USED UNLESS NOTED
 - USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
 - ALL DIMENSIONS ARE FRAME TO FRAME
 - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
 - ALL EXTERIOR WALLS ARE 2x4'S AT 16" OC
 - ALL INTERIOR WALLS ARE 2x4'S AT 16" OC
 - GARAGE WALLS ARE 2x4'S AT 16" OC
 - 2x6 PLUMBING WALLS AS REQUIRED
 - BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
 - ACTUAL 1 1/8" TJI FLOOR LAYOUT AND SPACING BY MFG.
 - 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
 - 21" CLEARANCE IN FRONT OF WATER CLOSET
 - STAIRS - MAX. RISE: 7 3/4" - MIN. RUN: 10"
 - LOCATION OF ATTIC ACCESS IS TO BE DETERMINED BY GENERAL CONTRACTOR



ARCHED OPENING DETAIL

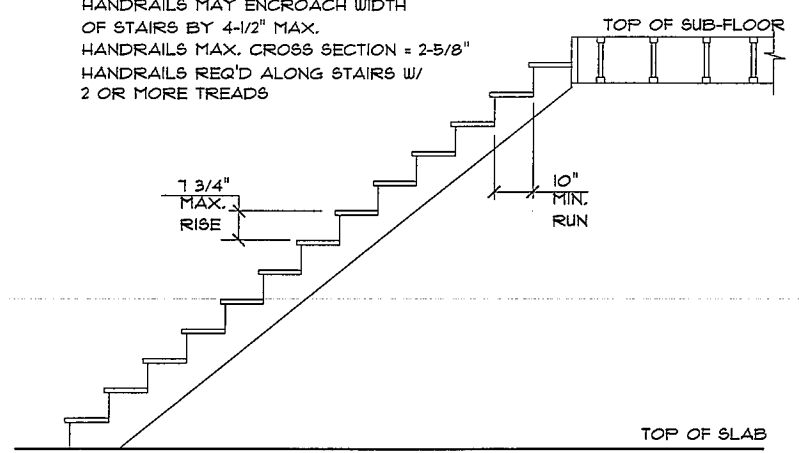


MAIN LEVEL FLOOR PLAN

MAIN LEVEL: 871 SQ. FT.
UPPER LEVEL: 831 SQ. FT.
TOTAL SQ. FT.: 1708 SQ. FT.

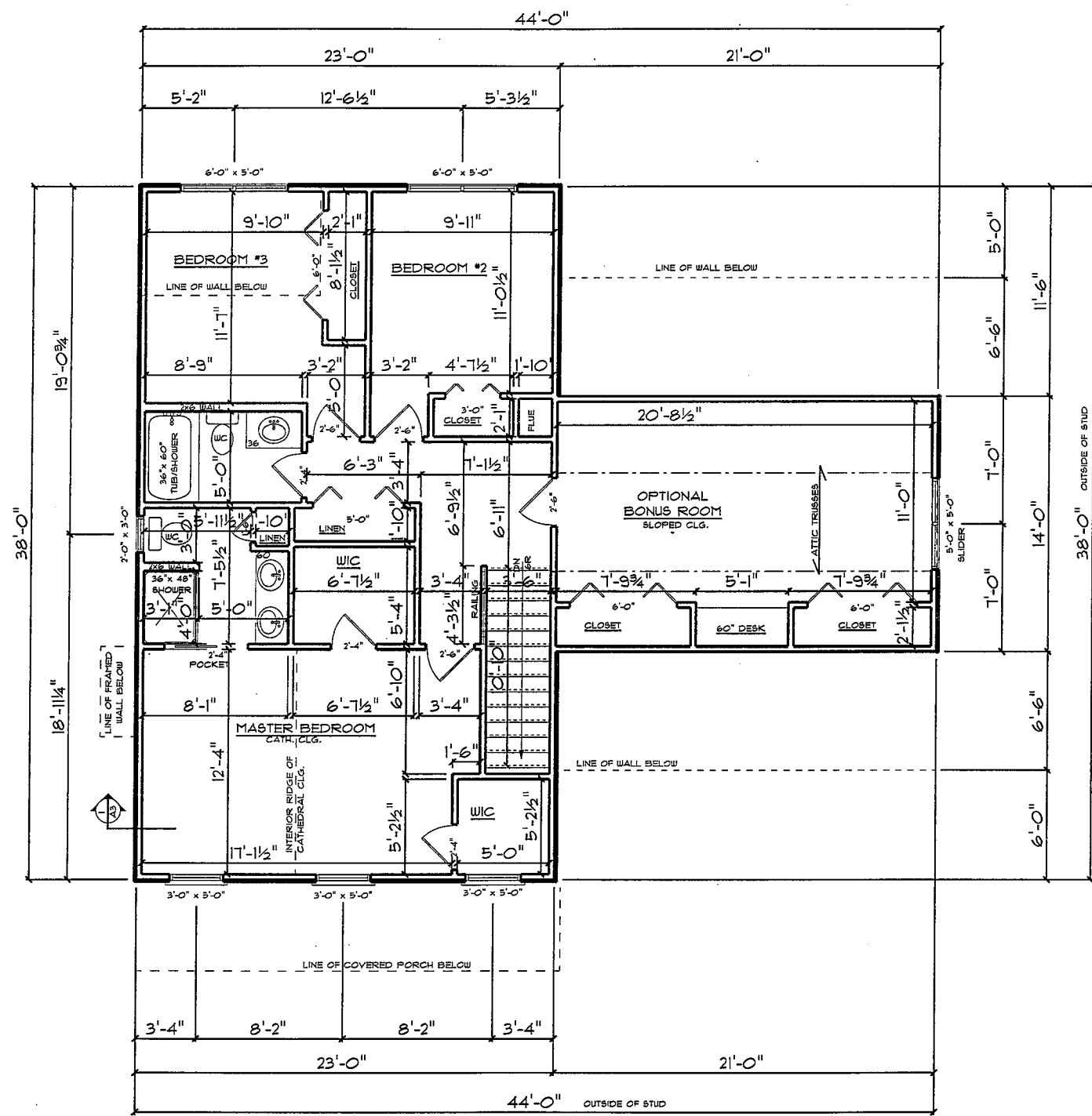
STAIR NOTES:
MIN. RUN 0'-10"
MAX. RISE 0'-7 3/4"
MIN. HEADROOM 6'-8"

HANDRAIL HEIGHTS 34"-38"
HANDRAILS MAY ENCR OACH WIDTH OF STAIRS BY 4-1/2" MAX.
HANDRAILS MAX. CROSS SECTION = 2-5/8"
HANDRAILS REQ'D ALONG STAIRS W/ 2 OR MORE TREADS



TYPICAL STAIR SECTION

DETAIL ONLY REFLECTS STAIR REQUIREMENTS NOT STAIRS PER DRAWING



UPPER LEVEL FLOOR PLAN

MAIN LEVEL: 877 SQ. FT.
 UPPER LEVEL: 831 SQ. FT.
 TOTAL SQ. FT.: 1708 SQ. FT.

OPT. BONUS ROOM SQ. FT.: 294 SQ. FT.

- NOTES**
- 8'-1 1/8" WALL HEIGHT UNLESS NOTED
 - GERKIN SINGLE HUNG WINDOWS TO BE USED UNLESS NOTED
 - USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
 - ALL DIMENSIONS ARE FRAME TO FRAME
 - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
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 - GARAGE WALLS ARE 2x4'S AT 16" OC
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 - BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
 - ACTUAL 11 7/8" TJI FLOOR LAYOUT AND SPACING BY MFG.
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NON-WALKOUT

THE "MONROE" BY SOUTHGATE DEVELOPMENT

REVISIONS
• DESIGN ELEMENTS • RESIDENTIAL • LIGHT COMMERCIAL DRAFTING LINE TABLE • DWG • 527/95 59 655 4370 CHRISTINA@DESIGNELEMENTS.COM
SCALE: 1/8" = 1'-0"
DATE: 08/17/2004
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• 45 •
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